



WCDA
 Construction Department
 Casper WY 82609
 307.265.0603

Specs By Location

8/22/2018

Address: 414 S McKinley (HOME) (Copy) Street

Unit: Unit 01

Location: 1 - General Requirements

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				
1	5.1 OWNER SPECIFIED LIGHT FIXTURES Use the following light fixtures or prior approved equivalent: 4 Bulb Chandelier (Dining Room): Progress Lighting, P4326-09, Brushed Nickel; Ceiling Mount (Bedroom/Other): Progress Lighting, P3476-09, Brushed Nickel; 3 Bulb Hanging (Foyer): Progress Lighting, P3474-09, Brushed Nickel; Ceiling Fan w/ light: Hunter, 23943, White; Vanity Light (Bathroom): Progress Lighting, 2 light, P3028-09.	1.00	EA	_____	_____
2	5.2 OWNER SPECIFIED MATERIALS Use the following materials or prior approved equivalent unless otherwise specified: Wall Paint: Behr premium plus Ivory Mist or have it matched. Trim & Door Paint: Bright White Carpet: Mohawk, Traffic Master, Style: Lamont II, Color: Spice Bark. Vinyl Flooring #1: Armstrong, Initiator, Ancient Slate -- Peacock 66205 Vinyl Flooring #2: Armstrong, Initiator, Darien -- Almond 66155 Counter top: Formica, Venetian Gold, 6223-RW Cabinets: American Classics, Style: Hampton, Color: Cognac or Sandalwood Appliances: All appliances and electrical cover plates to be white unless noted otherwise. Ceramic Floor Tile: 12" x 12" DalTile, Series: Salerno, Color: Marrone Chiaro Ceramic Wall Tile: 6" x 6" DalTile, Series: Salerno, Color: Marrone Chiaro Hardware: All door hardware to be brushed nickel including hinges and stops. NOTE: All outlet covers and switch plates in the home shall be matching either white or almond color.	1.00	GR	_____	_____
3	11 DISCLAIMER Wyoming Community Development Authority (WCDA) has completed a visual inspection of the property only. Use of this information is at your own risk. WCDA will not be held liable for any errors or omissions contained in the content of any inspection reports. The inspection is a visual inspection only to determine safety and health issues, visible essential repairs, visible system deficiencies, and repairs needed to preserve and protect the property. The inspection report is provided "as is" and WCDA expressly disclaims any and all warranties, express or implied, including but not limited to, any warranties of accuracy, reliability, title, merchant ability, non-infringement, fitness for a particular purpose or any other warranty, condition,	1.00	GR	_____	_____

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Trade: 1	General Requirements				
	guarantee or representation, whether verbal, in writing or in electronic form, including but not limited to the accuracy or completeness of any information contained therein or provided by inspection. In no event shall WCDA be liable for any special, indirect, or consequential damages or any damages whatsoever resulting from loss of use, data or profits, whether in an action of contract, negligence or other tortious action, arising out of or in connection with the use or performance of information available from the inspection.				
4	<p>14 CONTRACTOR ACCEPTS SCOPE OF WORK</p> <p>The undersigned contractor certifies that he/she has carefully reviewed & agrees to perform the work described in this Work Write Up (WWU) with the "Date Inspected" date of _____ & referred to as Exhibit 1. The contractor shall initial & date each page of the WWU.</p> <p>X _____ Contractor Date</p>	1.00	DU	_____	_____
5	<p>24 MANUFACTURER'S SPECS PREVAIL</p> <p>All materials shall be installed in full accordance with the manufacturer's specifications for working conditions, surface preparation, methods, protection and testing.</p>	1.00	GR	_____	_____
6	<p>31 CONSTRUCTION DEFINITIONS</p> <p>"Install" means to purchase, set up, test and warrant a new component. "Replace" means to remove and dispose of original material, purchase new material, deliver, install, test and warrant. "Repair" means to return a building component to like new condition through replacement, adjustment and recoating of parts. "Reinstall" means to remove, clean, store and install a component.</p>	1.00	GR	_____	_____
7	<p>35 VERIFY QUANTITIES/MEASUREMENTS</p> <p>All Quantities stated in the attached specifications for this address using Units of Measure other than Each (EA), Room (RM) or Dwelling Unit (DU) (e.g. SF of Drywall) are for the contractor's convenience and must be verified by the contractor at a mandatory site inspection prior to bid submission. All quantities stated in the Units of Measure Each (EA), Room (RM) or Dwelling Unit (DU) are as stated. Discrepancies in Quantities found by the contractor must be communicated to the Housing Rehabilitation Specialist prior to the submission of a bid. Claims for additional funds due to discrepancies in Quantities shall not be honored if submitted after the bid submission.</p>	1.00	GR	_____	_____
8	<p>36 BUILDING PERMIT REQUIRED</p> <p>If required by the Jurisdiction Having Authority, the contractor is responsible for submitting this owner-prepared work write up to the building department, applying for, paying for and receiving proper building permits prior to starting any work.</p>	1.00	EA	_____	_____
9	<p>42 CERTIFICATE OF OCCUPANCY</p> <p>Prior to final payment, the contractor shall comply with and complete all items necessary to receive a Certificate of Occupancy or Certificate of Completion for the individual dwelling unit from the local municipality or county.</p>	1.00	EA	_____	_____

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Trade: 1	General Requirements				
10	45 CONTRACTOR PRE-BID SITE VISIT The contractor must inspect the property. Submission of a bid is presumptive evidence that the bidder has thoroughly examined the site and is conversant with the requirements of the local jurisdiction.	1.00	DU	_____	_____
11	51 INSURANCE REQUIREMENTS The Contractor shall purchase, maintain & provide the Const. Specialist with certificates of insurance for: Statutory Worker's Comp and Employers Liability; Comprehensive General Liability Insurance with minimum bodily injury limits of \$100,000 per accident and \$300,000 per aggregate; Property Insurance upon the entire work at the site to the full insurance value thereof. The above policies shall name the Owner as insured beneficiary.	1.00	EA	_____	_____
12	55 WORK TIMES Contractors and their Subcontractors shall schedule working hours between 8:00am and 6:00pm Monday through Friday. Requests to work on weekends and before or after these hours must be approved by the homeowner.	1.00	GR	_____	_____
13	77 NEW MATERIALS REQUIRED All materials used in connection with this work write-up are to be new, of first quality and without defects - unless stated otherwise or pre-approved by WCDA and Construction Specialist.	1.00	GR	_____	_____
14	86 HOLD HARMLESS The contractor will defend, indemnify and hold harmless the Agency, its officers and employees from liability and claim for damages or loss and expenses arising from the contractor's operations under this contract.	1.00	GR	_____	_____
15	90 1 YEAR GENERAL WARRANTY Contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appear within one year from final payment. Further, contractor shall furnish owner with all manufacturers' and suppliers' written warranties covering items furnished under this contract prior to release of the final payment.	1.00	DU	_____	_____
16	120 FINAL CLEAN Remove from site all construction materials, tools and debris. Sweep clean all exterior work areas. Clean all interior work areas, removing all visible dust, stains, labels and tags. Wash all walls and interior components. Remove all blinds. Clean all forced air ductwork if present. Clean all windows, vacuum and mop all floors, and include all other necessary cleaning actions to provide a move-in ready, finished product.	1.00	EA	_____	_____
17	2031 RADON EVALUATION Conduct an EPA approved sampling for Radon gas in the home. Provide a report. Complete this prior to the start of any other work.	1.00	EA	_____	_____
18	6712 SEWER--SCOPE Scope and record sewer line condition and provide a written	1.00	EA	_____	_____

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Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1	General Requirements				
	condition report and video documentation to WCDA (tape, CD or flash drive.)				
Trade: 9	Environmental Rehab				
19	2070 ASBESTOS ABATEMENT Secure & isolate room, provide protective floor coverings when not removing floor tile. Pre-treat surface with wetting agent. Provide worker protection including whole body coveralls, respirators, & decontamination area. Dispose of asbestos in clearly identified disposal drums & HEPA vacuum entire area.	1.00	AL	_____	_____
20	2071 ASBESTOS--ACM ABATEMENT Remove and dispose of asbestos containing material (ACM) following all federal, state, and local laws. Utilize persons properly trained in accordance with the rules. This includes all siding on the exterior of the home as well as other components exterior and interior. Refer to ACM report available from WCDA Construction Specialist.	1.00	EA	_____	_____
21	9002 APPLICABLE LEAD-SPECIFIC DEFINITIONS Abatement: Any set of measures designed to permanently (permanent = expected life span of at least 20 years) eliminate lead-based paint or lead-based paint hazards. CFR - The Code of Federal Regulations: De minimus - Safe work practices and clearance are required when more than: - 20 SF on exterior - 2 SF per interior room - 10% of small component is deteriorated or will be disturbed by renovation. Interim Controls: A set of measures designed to reduce temporarily human exposure or likely exposure to lead-based paint hazards. Interim controls include, but are not limited to, repairs, painting, temporary containment, specialized cleaning, clearance, ongoing lead-based paint maintenance activities, and the establishment and operation of management and resident education programs. Work site: An interior or exterior area where lead-based paint hazard reduction activity takes place. There may be more than one work site in a dwelling unit or at a residential property. Clearance: An activity conducted following lead-based paint hazard reduction activities to determine that the hazard reduction activities are complete and that no soil-lead hazards or settled dust-lead hazards, as defined in this part, exist in the dwelling unit or work site. The clearance process includes a visual assessment and collection and analysis of environmental samples. Dust-lead standards for clearance are found at Sec. 35.1320. See 24CFR Part 35 - Subpart B - Section 35.110 Definitions, for additional definitions.	1.00	GR	_____	_____
22	9003 LEAD-SPECIFIC LAWS, RULES, REGULATIONS & GUIDELINES The execution of this work shall comply with all applicable federal, state and local laws, rules, regulations and guidelines for lead dust environments, including but not limited to: 29 CFR	1.00	GR	_____	_____

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Approx. Wall SF: 0

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Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 9	Environmental Rehab				
	1926.62 - Lead Construction Standard; 29 CFR1910.1200 - Hazard Communication Standard; 40 CFR Part 745 - Lead-Based Paint Poisoning Prevention in Certain Residential Structures (EPA Regulations); 24 CFR Part 35 - HUD's Lead Safe Housing Rule. The intention of these specifications is to provide abatement of lead paint hazards at the property.				
23	9011 LEAD RELATED FINES & PENALTIES The contractor agrees to pay within 30 days the cost of all fines and penalties resulting from regulatory non-compliance lead-related standards and requirements as issued by federal, state and local agencies.	1.00	EA	_____	_____
24	9023 CLEARANCE EXAMINATION Using a trained and certified lead paint inspector, a lead hazard risk assessor, or if approved, a sampling technician, one hour after completion of all lead hazard reduction, renovation and maintenance work, conduct a visual assessment for evidence of remaining paint chips, visible dust debris and residue. Randomly select four (4) floors, two (2) window sills and two (2) window troughs to dust wipe test as per protocol in the HUD Guidelines. Submit the dust samples, plus a blank sample, to an EPA-accredited lead analytical laboratory for determination of lead content. Provide the owner, occupants and this agency with the clearance report and a "Notice of Lead Hazard Reduction" within 15 days of achieving final clearance, in accordance with 23 CFR Part 35.	1.00	EA	_____	_____
25	9045 LEAD ABATEMENT CERTIFICATION All contractors performing lead abatement shall provide a copy of their EPA certification and state licenses for the designated lead abatement supervisors and all lead abatement workers working on the project prior to commencement of work.	1.00	AL	_____	_____
26	9147 LEAD WASTE DISPOSAL Wet mist and wrap all architectural components in polyethylene sheeting to prevent dust release during transport. Separate Category I lead waste (paint chips, stripping sludge, HEPA debris and water filtrate) and non-hazardous waste. Ensure that all waste, both hazardous and non-hazardous, is managed in accordance with state regulations.	1.00	DU	_____	_____
Trade: 22	Plumbing				
27	6610 WATER SUPPLY--INSPECT, REPAIR Restore water service to structure. Conduct water pressure test as necessary to identify defects and leaks and make repairs to bring structure into compliance with the current national and local plumbing code.	1.00	EA	_____	_____
28	6705 WASTE LINES--INSPECT, REPAIR Test waste lines for leaks and proper venting. Identify defects and make repairs to bring structure into compliance with the current plumbing code. Power snake drain to clear lines for fixtures to main street sewer.	1.00	EA	_____	_____

Location: 1 - General Requirements

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 22	Plumbing				

Trade: 23 Electric

29	7435 COMPLETE REWIRE	1.00	EA	_____	_____
	Remove all existing electrical wiring and outlets. Furnish and install all new code compliant components. Include hardwired with battery backup smoke detectors, per code requirement. Include all GFCI's in wet areas, per code. Include all AFCIs at breaker box as needed. Outlet, switches, and plates shall be white. Place GFCI sticker on GFCI outlets with dual purpose breakers. All permitting and associated fees, as well as additional code requirements, to be paid by contractor.				
30	7475 ELECTRIC SERVICE--200 AMP	1.00	EA	_____	_____
	Replace existing electrical service with a residential, 200 amp service, main disconnect, 110/220 volt, 24 circuit panel board, meter socket, weather head, service cable, and ground rod and cable. Seal exterior service penetrations to maintain a waterproof building envelope. Rewire is to extend to both Garage #1 and Garage #2.				

Trade: 24 Extermination

31	8303 INSPECT & PROVIDE TERMITE REPORT	1.00	DU	_____	_____
	Inspect and provide termite report for the property prior to the start of any other work.				

Location Total: _____

Location: 2 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 4	Site Work				
32	317 GATE--CHAIN LINK 4' HIGH	1.00	EA	_____	_____
	Hang a new 4' high, 42 inch wide, 11 gauge galvanized gate with a 1 3/8" frame, two off-set type hinges and latch at opening between Garage #1 and Garage #2.				
33	330 FENCE--REPAIR	60.00	LF	_____	_____
	Dispose of any existing fence along north edge of property extending from Garage #2. Install a 6" high wood stockade fence. Use all preservative treated lumber, 4"x4" ground contact rated posts set at least 36" deep in 9" diameter concrete sleeves 8' on center. 2"x4" top and bottom rails, 1"x3" split rail fence boards. Installation of sections shall be in a straight line unless otherwise stated.				
34	460 TRIM ALL OVERGROWTH	1.00	EA	_____	_____
	Trim all dead, decaying, damaged and overgrown plants,				

Location: 2 - Exterior

Approx. Wall SF: 0

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Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 4	Site Work				
	shrubs and trees, to provide safety and an attractive appearance. Remove 50% of tree limb length that overhangs any structure. Remove all debris and rake clean.				
35	Custom REMOVE SHRUBS/TREES AND DEBRIS Remove shrubs on west end of house between Laundry Area and retaining wall include removal of section of chain link fence entangled in shrubs on north side of yard. Remove sapling and chain link material from east face of Garage #1. Remove steel post adjacent to entry stairs of Garage #1. Remove all trees/sapplings from area in northwest section of backyard, to include removal of wooden clothes line frame adjacent to Garage #2. Remove stump from center of back yard to a depth of 12" minimum. Rake all debris, smooth and grade surfaces to drain away from structure.	1.00	EA	_____	_____
Trade: 10	Carpentry				
36	2640 SIDING---VINYL Hang Alside Conquest vinyl clapboard siding including all cornice, corner, soffit, door and window trim after replacing all deteriorated exterior building components. After removing existing siding, install 2" rigid foam insulation on exterior of home. Wrap home with tyvek vapor/ infiltration barrier and apply owner's choice of siding color, exposure and texture with 50 year warranty. This specification to include installation of siding on both Garage #1 and Garage #2. Do not install rigid insulation on either garage.	32.00	SQ	_____	_____
37	2685 AWNINGS--ALUMINUM Install enameled aluminum awnings securely attached with aluminum screws through siding to framing to replace existing awnings at Front Bedroom (1), Living Room (2), at entry to Garage #1 and covered area at northwest corner of main home. Awnings and colors to be approved by WCDA Construction Specialist.	1.00	DU	_____	_____
38	3150 DOOR--EXTERIOR paneled Install a 1-5/8" 4 or 6 panel, exterior door with entrance lock set and mortised dead bolt keyed alike. Include three 3"x4" butt hinges, interlocking threshold, and weatherstripping.	1.00	EA	_____	_____
39	3210 STORM DOOR--ALUMINUM Install an aluminum storm door with 3/4 glass and white baked enamel aluminum finish at front and Kitchen entries.	2.00	EA	_____	_____
40	3530 GUARD RAIL-- IRON Install a black, iron railing of bar stock steel with solid balusters. Bolt securely in wall and floor with lead shielded lag bolts. Embed in concrete in ground when servicing steps. Touch up paint. Provide a new rail on each side of entry steps.	8.00	LF	_____	_____
41	3875 HOUSE NUMBER SET Install 3" high metal or PVC house numbers on a 1"x 4" pine	1.00	EA	_____	_____

Location: 2 - Exterior

Approx. Wall SF: 0

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Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
	backer board painted with 2 coats of exterior white latex paint.				
42	3885 MAILBOX Dispose of mailbox and install a steel, black enamel finish, letter-size mail box with magazine rack and lock-eye for padlock.	1.00	EA	_____	_____
43	Custom ATTIC ENTRY HATCH & ATTIC VENTS Construct and install a new attic entry hatch of 3/4" CDX plywood including two heavy duty hinges and a hasp for securing hatch. Replace existing attic vents (5).	1.00	EA	_____	_____
Trade: 15 Roofing					
44	4580 TEAR OFF AND REROOF SHINGLES Remove and dispose of all roofing & defective sheathing. Verify adequate venting and roof circulation requirements are met per code, including use of pop-up and gable vents or shingle-over ridge vents with soffit venting. Replace up to 5 sf of sheathing per 100 sf of roof using pine board or CDX plywood of matching thickness. Staple minimum 15 lb felt or use synthetic underlayment. Install preformed white aluminum, drip edge, and vent pipe boots. Install an architectural shingle with a 30 yr material warranty. Replace all flashing. Color to be selected by WCDCA Construction Specialist. This scope of work excludes Garage #1 and Garage #2.	22.00	SQ	_____	_____
45	4635 GUTTER--5" SEAMLESS ALUMINUM Dispose of gutter. Install 5", K- type, seamless, .027 gauge aluminum gutter to service roof. White or brown color choice by owner. Replace gutter and downspouts on Main House and Garage #1 and Garage #2. Provide extensions and splash blocks to assure water is moved away from structures.	285.00	LF	_____	_____
Trade: 19 Paint & Wallpaper					
46	5770 PAINT STUCCO CHIMNEY Protect ground with drop cloth. Wire brush or pressure wash all loose, peeling, cracked and blistered paint from surface. Repair any damaged stucco to provide consistent surface and texture. Spot prime with latex primer. Paint one top coat with latex. Color choice by owner. This specification to include preparation, repair and painting of parget around exposed foundation to match chimney.	350.00	SF	_____	_____
47	Custom SIDEWALK HAND RAILS--SECURE & PAINT Scrap and prep existing handrails at front sidewalk. Paint with a minimum of one coat enamel epoxy. Color: black. Securely reinstall handrails using new fasteners.	1.00	EA	_____	_____
48	Custom SCRAPE FRONT STAIR AND FLAT WORK Scrape/wire brush any peeling, slaking fairs lat work. Contain, collect and properly dispose of any and all paint chips/debris. Surfaces to be clear of any peeling and flaking paint.	1.00	EA	_____	_____

Location: 2 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 19	Paint & Wallpaper				

Trade: 20 Floor Coverings

49	Custom	REPLACE EXTERIOR CARPET	1.15	SF		
		Remove and replace the exterior carpet outside entry to Kitchen. Install Traffic Masters Elevations or approved equivalent. Color to be selected by WCDA Construction Specialist.				

Trade: 22 Plumbing

50	7250	SPRINKLER SYSTEM--REPAIR	1.00	DU		
		Replace broken sprinkler heads, install an anti-siphon valve if required, check manifold and valves and replace if necessary. Verify controller is operational and ensure there are no leaks and entire yard is reached with sprinklers.				

Trade: 23 Electric

51	8045	DOORBELL SYSTEM	1.00	EA		
		Install a doorbell system containing a low voltage transformer, power connection, buzzer and front and back door buttons.				
52	8175	FLOOD LIGHT--DOUBLE BULB	2.00	EA		
		Install a building mounted, double lamp, incandescent flood light with photoelectric switch on exterior of Garage #1 and Garage #2 to light alley adjacent to each overhead door. Any exposed exterior wiring shall be run in conduit.				

Location Total: _____

Location: 3 - Crawl Space

Approx. Wall SF: 868

Ceiling/Floor SF: 912

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 5	Demolition & Disposal				

53	Custom	REMOVE BOILER AND DISTRIBUTION	1.00	EA		
		Remove and properly dispose of boiler unit and associated distribution system to whatever extent is possible including removal of all radiators.				

Trade: 6 Concrete & Paving

54	912	BASEMENT SLAB INSTALLATION	1.00	EA		
		Install a continuous 4" thick basement slab using a 3,000 psi mix. Make sure that the soil is uniformly and properly compacted, Install a 4" bed of 3/4" clean (no fines) gravel on top of the soil, provide expansion joints (also known as isolation joints) around the inside perimeter of the foundation using standard isolation joint material, and install 6-mil polyethylene sheet directly under the concrete to create a continuous vapor barrier ideally in one sheet but lapped 12" and taped at seams				

Location: 3 - Crawl Space

Approx. Wall SF: 868

Ceiling/Floor SF: 912

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 6 Concrete & Paving					
	if seams are absolutely necessary. Install a 2 inch layer of gravel on top of the vapor barrier and place the concrete. Include plastic reinforcing fibers in the mix, like Fibermesh (Fibermesh Co., 4019 Industry Dr., Chattanooga, TN 37416; 615/892-7243. Screed, float, and finish with a steel trowel to a smooth surface that drains water to new floor drain, and strike control joints in the wet concrete at 8" intervals.				
55	1050 CONCRETE RETAINING WALL Construct retaining walls to contain soil along west wall, east wall and parts of north wall in crawl space. Coordinate with WCDA Construction Specialist. Excavate as necessary to allow space to arrange formwork. Place 8"x16" cont. strip ftg. w/2-#2 rebars 2.5" min. from edges. Build forms for walls, min 8" thick. Place #4 rebar 48" o.c. vert. & horiz. & tie into ftg @ keyway. Pour & vibrate 2,500 psi conc. min. 3000 psi rec. Allow weep holes @48" o.c. @ lowest grade. OPTION: pour footer and construct block retaining wall.	37.00	LF	_____	_____
Trade: 9 Environmental Rehab					
56	2075 ASBESTOS PIPE INSUL.--REMOVE Remove asbestos-containing pipe or ductwork insulation to code legal hazardous waste site.	1.00	EA	_____	_____
Trade: 10 Carpentry					
57	Custom REPLACE ENTRY HATCH AND ENTRY LADDER Construct and install a new entry hatch for Crawl Space with new hinges, hasp and method for securing in open position. Hatch must be able to support a minimum of 350 lbs. Remove existing access ladder and clean Crawl Space entry well. Install a new access ladder secured at top and bottom.	1.00	EA	_____	_____
Trade: 16 Conservation					
58	4955 VAPOR BARRIER--CRAWL SPACE Lay 6 mil poly vapor barrier on exposed ground in crawl space and 6" up foundation walls. Overlap seams by 2' and secure with duct tape.	750.00	SF	_____	_____
Trade: 21 HVAC					
59	6040 FURNACE 90+ GAS - WITH DISTRIBUTION Use the Air Conditioning Contractors of America's (ACCA) late test edition of their Manual J Heat loss calculation tool http://www.acca.org/tech/manualj/ (calculate manual J based on the post rehab building envelope), use ACCA's Manual S for equipment selection and use Manual D for ductwork design. Make every effort to install supply ducts in interior partitions (in conditioned wall cavities). NOTE: Provide Manual J, S and D reports before work begins. Size furnace to the living unit considering any areas which may be added or subtracted from the plan. Remove existing furnace or boiler, recycle all metal	1.00	EA	_____	_____

Location: 3 - Crawl Space

Approx. Wall SF: 868

Ceiling/Floor SF: 912

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 21 HVAC

components and dispose of all other materials in a code legal dump. FURNACE: install a 90+ gas fired forced air furnace with minimum AFUE rating of 90% or higher on 2" patio block to with new supply and return ductwork work & gas line. New furnace to be vented with PVC piping per manufacturer's specifications. New furnace will have minimum limited warranties of: 20 years on heat exchangers; 5 years on parts. Include auto set back thermostat controls, vent pipe & new shut-off valve. Install return air duct ensuring easy access, good fit & easy replacement of air filter. An exterior return air filter box shall be installed on one side, both sides, or bottom of new furnace. Seal all duct joints with Duct Mastic.

Trade: 22 Plumbing

60	7070	WATER HEATER--40 GALLON GAS	1.00	EA	_____	_____
		Install a 40 gallon, glass lined, high recovery, insulated to R-7, gas water heater with a 10 year warranty. Include pressure and temperature relief valve, discharge tube to within 6" of floor or to outside of structure, vent, thimble, and gas piping from shut-off valve to fixture. Dispose of old water heater in code legal dump.				
		To include costs to replumb as necessary to move water heater from Laundry Area.				
61	Custom	INSTALL FLOOR DRAIN	1.00	EA	_____	_____
		Install a floor drain along with any lift necessary to move water to main drain line.				

Location Total: _____**Location: 4 - Living Room**

Approx. Wall SF: 512

Ceiling/Floor SF: 247

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 10 Carpentry

62	2979	VINYL CASEMENT DOUBLE GLAZED WINDOW	3.00	EA	_____	_____
		Remove existing window, field measure, fabricate and install a dual glazed, thermal break, vinyl casement window including all paint, caulk, trim, casing and provide a screen. Clean the glass when complete.				
63	3345	DOOR--INT, HOLLOW CORE--RAISED PANEL	1.00	EA	_____	_____
		Install a raised panel, hollow core, masonite door on new jamb for new closet. Include passage lockset and 2 butt hinges. Provide all casing and trim.				
64	4010	CLOSET POLE	2.00	EA	_____	_____
		Field measure and install 1-1/2" diameter wood closet poles and sockets along east and west walls in new closet area.				
65	4015	CLOSET SHELF	8.00	LF	_____	_____
		Install 1"x 12" closet shelves of #2 grade pine or B/C plywood, from wall to wall, supported on three sides by hook strip in new closet area. If more than 4' span, use center support bracket.				

Location: 4 - Living Room

Approx. Wall SF: 512

Ceiling/Floor SF: 247

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
	If plywood, fill all cracks, holes and front edge cuts with putty, and sand smooth. Install shelves dove west walls in new closet area.				
66	Custom INCORPORATE NEW CLOSET Refer to Drawings #2 and #3. Cut and frame door opening to new closet (old Hallway) Ready to mount new door and trim. Threshold in door opening should be flush with Dining Room.	1.00	EA	_____	_____
67	Custom REMOVE THIN BRICK AND SHELVING, ETC. Remove thin brick finish from north wall and repair surface. Match texture in rest of room. Also remove all shelving and window dressing and properly dispose of. Fill in phone niche and repair wall surface ready for paint. Include repair of walls where radiators were removed and installation of base to match existing.	1.00	EA	_____	_____
Trade: 19 Paint & Wallpaper					
68	5565 PREP & PAINT VACANT ROOM Remove/cover all hardware, fixtures not to be painted. Wet scrape loose, cracked, peeling, blistered surfaces. Feather edges & dull gloss surfaces with sandpaper. Clean all surfaces with TSP. Spot prime and top coat trim, ceiling, walls, doors & windows with owner's choice of premixed acrylic latex. Include any closets, rooms, walls, ceiling and trim. Note: include new closet area in this specification. Provide base as needed in closet interior. Repair wall where radiators were removed, textured and ready to paint. Match existing base where missing.	250.00	SF	_____	_____
Trade: 20 Floor Coverings					
69	5970 CARPET AND PAD Install FHA approved, nylon, plush carpet over a 1/2" medium density rebond pad w/ a minimum of seams. Stretch carpet to eliminate puckers, scallops & ripples. Include tackless strips, metal edge strips, and mending tape to cover entire floor including closets. On stairs, fasten carpet and pad at top and bottom of each riser. See General Requirements for specified carpet.	250.00	SF	_____	_____
Trade: 21 HVAC					
70	6413 ELECTRIC FIREPLACE Install a 36" wide double walled, metal, prefabricated, built-in electric fireplace including a ceramic tile hearth and 6" face trim per the manufacturer's recommendations.	1.00	EA	_____	_____
Trade: 23 Electric					
71	7819 FAN/LIGHT FIXTURE-ENERGY STAR Install an ENERGY STAR approved ceiling mounted Fan/Light fixture, such as the NuTone QTREN080FLT, or a Broan	1.00	EA	_____	_____

Location: 4 - Living Room

Approx. Wall SF: 512

Ceiling/Floor SF: 247

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 23 Electric

QTXE080FLT capable of min. 80 CFM operating at 1 Sone or less, with an integral damper, and vented to the exterior. The fixture must accommodate 2 - GU24 fluorescent lamps. Switch fan & light using a single switch with a time delay for the fan such as the EFI Fan/Light Time Delay Switch part #5100.505
http://www.energyfederation.org/consumer/default.php/cPath/39_766_134 or equipped with a humidistat sensor. Install galvanized metal duct the same diameter as the fan outlet and vent to the exterior ideally through a wall or gable end using a metal hooded vent of like diameter and with damper. All duct seams shall be sealed with duct mastic. Insulate the ductwork with vinyl or foil faced R 8 minimum duct insulation. Repair any damage to the ceiling installation and air seal fan/light assembly to the ceiling with low VOC caulk.

Location Total: _____

Location: 5 - Front Bedroom

Approx. Wall SF: 368

Ceiling/Floor SF: 130

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 10 Carpentry

72	2979 VINYL DOUBLE GLAZED WINDOW	2.00	EA	_____	_____
	Remove existing window, field measure, fabricate and install a dual glazed, thermal break, vinyl window including all paint, caulk, trim, casing and provide a screen. Clean the glass when complete. Note: One window must meet egress requirements.				
73	2980 WINDOW--VINYL DBL HNG DBL GLZ	1.00	EA	_____	_____
	At closet window: Field measure, order and install a vinyl, double hung, double glazed, one-over-one window and jamb including screen, caulk, interior casing and exterior trim. Install half screen.				
74	3255 DOOR--REMOVE	1.00	EA	_____	_____
	Dispose of interior door to Hall. frame and fill opening, finish both sides ready to paint. Refer to Drawing #2.				
75	3280 LOCKSET--BEDROOM	2.00	EA	_____	_____
	Install a brushed nickel privacy lock set on bedroom door and a passage lockset on closet door.				

Trade: 19 Paint & Wallpaper

76	5565 PREP & PAINT VACANT ROOM	200.00	SF	_____	_____
	Remove/cover all hardware, fixtures not to be painted. Wet scrape loose, cracked, peeling, blistered surfaces. Feather edges & dull gloss surfaces with sandpaper. Clean all surfaces with TSP. Spot prime and top coat trim, ceiling, walls, doors & windows with owner's choice of premixed acrylic latex. Include any closets, rooms, walls, ceiling and trim.				

Location: 5 - Front Bedroom

Approx. Wall SF: 368

Ceiling/Floor SF: 130

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 19 Paint & Wallpaper

Make necessary repairs to walls where radiators were removed, match existing texture. Install base to match existing.

Trade: 20 Floor Coverings

77	5970	CARPET AND PAD	200.00	SF	_____	_____
Install FHA approved, nylon, plush carpet over a 1/2" medium density rebond pad w/ a minimum of seams. Stretch carpet to eliminate puckers, scallops & ripples. Include tackless strips, metal edge strips, and mending tape to cover entire floor including closets. On stairs, fasten carpet and pad at top and bottom of each riser. See General Requirements for specified carpet.						

Trade: 23 Electric

78	7730	LIGHT FIXTURE--REPLACE	2.00	EA	_____	_____
Replace the existing ceiling mounted light in room and closet with a new ceiling mounted fixture with at least 2 bulbs, UL approved, with shade or globe and lamps.						

Location Total: _____**Location: 6 - Hall**

Approx. Wall SF: 288

Ceiling/Floor SF: 56

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 5 Demolition & Disposal

79	Custom	DEMO CABINETS	1.00	EA	_____	_____
Remove and properly dispose of built-in cabinetry.						

Trade: 23 Electric

80	7740	LIGHT FIXTURE AND SWITCH	1.00	EA	_____	_____
Install a ceiling mounted, UL approved, 2 bulb light fixture (\$20 material allowance) controlled by a switch with cover plate located at the strike side of the new door in Living Room. Fish wire and repair all tear out.						

Location Total: _____**Location: 7 - Bathroom**

Approx. Wall SF: 224

Ceiling/Floor SF: 48

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 10 Carpentry

81	3345	DOOR--INT, HOLLOW CORE--RAISED PANEL	1.00	EA	_____	_____
Install a raised panel, hollow core, masonite door on existing jamb. Include privacy lockset and 2 butt hinges.						

Location: 7 - Bathroom

Approx. Wall SF: 224

Ceiling/Floor SF: 48

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
82	3831 MEDICINE CABINET--20" RECESSED Install a 20"x26" recessed medicine cabinet with an aluminum frame, hinged beveled plate glass mirror and two glass shelves such as the Kohler Model #: CB-CLC2026FS.	1.00	EA	_____	_____
83	3835 ACCESSORY SET--4 PIECE Install a brushed nickel or chrome bathroom accessory set consisting of two 20" - 24" towel bars, one towel ring, and a toilet paper holder.	1.00	EA	_____	_____
84	Custom RECONFIGURE BATHROOM Reconfigure Bathroom layout to conform to Drawing #5 including demolition and construction of partitions and any and all plumbing modifications required. All wall and ceiling finishes are to meet smoothly and match in texture. NOTE: The existing shower enclosure and glass door are to be removed.	1.00	EA	_____	_____
Trade: 18 Ceramic Tile					
85	5420 CERAMIC TUB SURROUND Install 4"x 4" ceramic wall tile & preformed trim over 1/2" fiberglass reinforced portland cement board with troweled adhesive. After 24 hours drying time, apply latex based, portland cement grout. Remove all excess grout & apply mildew resistant white silicone caulk at all seams, fixture lips & pipe penetrations. Create a tub surround to 6' off finish floor. Install Owner specified materials and color.	65.00	SF	_____	_____
Trade: 19 Paint & Wallpaper					
86	5483 REPR CRACKS/HOLES, TEXTURE, PREP & PAINT Repair all cracks with fiberglass drywall tape and compound. Fill holes with spackle or drywall compound. Feather edges and wet sand. Spot prime all unpainted surfaces with alkyd primer. Remove all loose and chipped paint, tape all seams and major cracks with fiberglass mesh joint tape. Mask/cover all surfaces not to be textured to eliminate overspray. Spray with a latex paint based medium texture per the manufacturer's recommended procedure. Spot prime and top coat trim, ceiling, walls, doors & windows with owner's choice of premixed acrylic latex. Include any and all closets, doors, rooms, walls, ceiling and trim.	125.00	SF	_____	_____
87	5560 PREP & PAINT BATHROOM Remove/cover all hardware and fixtures not to be painted. Wet scrape all loose cracked, peeling blistered surfaces. Clean surfaces with TSP. Fill all holes and cracks. Spot prime with acrylic latex. Apply top coat of owner's choice of premixed acrylic latex semi-gloss. Make necessary repairs to walls where radiators were removed, match existing texture.	1.00	RM	_____	_____

Location: 7 - Bathroom

Approx. Wall SF: 224

Ceiling/Floor SF: 48

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 20 Floor Coverings					
88	5930 UNDERLAYMENT AND VINYL SHEET GOODS Install 1/4" underlayment grade plywood using 7d screw shank or cement coated nails, or narrow crown coated staples, 6" on center allowing a 1/4" gap at wall. Fill seams with a manufacturer approved filler. Install 070" thick, backed vinyl sheet goods w/ minimum seams, per manufact. recommendations. Install metal edge strips in openings. Owner's choice of pattern and color.	125.00	SF	_____	_____
89	5945 VINYL BASE Apply 4" high, .080 gauge vinyl top set, cove base molding with matching end stops and preformed corner units using a low VOC adhesive.	21.00	LF	_____	_____
Trade: 22 Plumbing					
90	6901 VANITY--BUILT IN COMPLETE Install a built in plywood vanity to fit designated location (see Drawing #5); including top with backsplash, wash bowl and single lever brass bodied chrome faucet with a maximum 1.5 GPM flow rate. Include PVC drain attached to a code legal plumbing vent, use type L copper or PEX supply piping with brass bodied stops on all supply lines. Seal all penetration through the floor, walls and cabinet for plumbing connections using expanding foam or caulk and cover with chrome eschucion plates. Cabinets must comply with California 93120 (formaldehyde content) or all exposed edges must be sealed with a low-VOC sealant.	1.00	EA	_____	_____
91	6945 BATHTUB--5' STEEL COMPLETE Install a 5' white, enameled, formed steel, tub complete with lever operated pop up drain and overflow, PVC waste, single lever shower diverter and Delta 6122 water saving shower head.	1.00	EA	_____	_____
92	7010 COMMODE--REPLACE Install a 2 piece, close coupled, white, vitreous china, commode with a maximum water usage per flush of 1.6 Gallons. Include white seat, supply pipe, shut-off valve, flap valve and wax seal.	1.00	EA	_____	_____
Trade: 23 Electric					
93	7731 LIGHT FIXTURE--REPLACE VANITY Replace light fixture with 2 or 3 bulb vanity light. Include shade and lamps. See General Conditions for specified material.	1.00	EA	_____	_____
94	7818 FIXTURE--LIGHT, VENT Install a single bulb light fixture with an exterior ducted vent fan with damper capable of 60 cfm, controlled by 2 manufacturer-supplied switches, using #14 copper Romex. Fish all wire and repair tear out.	1.00	EA	_____	_____

Location Total: _____

Location: 8 - Rear Bedroom

Approx. Wall SF: 336

Ceiling/Floor SF: 110

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
95	2979 VINYL DOUBLE GLAZED WINDOW Remove existing window, field measure, fabricate and install a dual glazed, thermal break, vinyl window including all paint, caulk, trim, and provide a screen. Use privacy glazing for bathroom windows. Clean the glass when complete. Note: One window must meet egress requirements.	1.00	EA	_____	_____
96	2980 WINDOW--VINYL DBL HNG DBL GLZ Field measure, order and install a vinyl, double hung, double glazed, one-over-one window and jamb including screen, caulk, interior casing and exterior trim. Install half screen.	2.00	EA	_____	_____
97	3280 LOCKSET--BEDROOM Install a brushed nickel privacy lock set on door and passage lockset on closet.	2.00	EA	_____	_____
Trade: 19 Paint & Wallpaper					
98	5565 PREP & PAINT VACANT ROOM Remove/cover all hardware, fixtures not to be painted. Wet scrape loose, cracked, peeling, blistered surfaces. Feather edges & dull gloss surfaces with sandpaper. Clean all surfaces with TSP. Spot prime and top coat trim, ceiling, walls, doors & windows with owner's choice of premixed acrylic latex. Include any closets, rooms, walls, ceiling and trim. Make necessary repairs to walls where radiators were removed, match existing texture. Install base to match existing.	120.00	SF	_____	_____
Trade: 20 Floor Coverings					
99	5970 CARPET AND PAD Install FHA approved, nylon, plush carpet over a 1/2" medium density rebond pad w/ a minimum of seams. Stretch carpet to eliminate puckers, scallops & ripples. Include tackless strips, metal edge strips, and mending tape to cover entire floor including closets. On stairs, fasten carpet and pad at top and bottom of each riser. See General Requirements for specified carpet.	150.00	SF	_____	_____
Trade: 23 Electric					
100	7730 LIGHT FIXTURE--REPLACE Replace the existing ceiling mounted light with a new ceiling mounted fixture with at least 2 bulbs, UL approved, with shade or globe and lamps.	1.00	EA	_____	_____

Location Total: _____

Location: 9 - Kitchen

Approx. Wall SF: 320

Ceiling/Floor SF: 99

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Location: 9 - Kitchen

Approx. Wall SF: 320

Ceiling/Floor SF: 99

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
101	2979 VINYL SLIDING DOUBLE GLAZED WINDOW Remove existing window, field measure, fabricate and install a dual glazed, thermal break, vinyl sliding window including all paint, caulk, trim, and provide a screen. Use privacy glazing for bathroom windows. Clean the glass when complete.	2.00	EA	_____	_____
102	3175 DOOR--ENTRY COMPLETE Dispose of existing door and frame. Install a 1-3/4" six-panel, fiberglass door and frame. Include interior and exterior casing, three 4"x 4" butt hinges, spring metal weatherstripping, an interlocking threshold, 1/4 glass, one entrance and one mortised deadbolt lockset keyed alike. Prime and topcoat with owner's choice of finish.	1.00	EA	_____	_____
103	3715 CABINET--WOOD BASE Replace base cabinets. Install base cabinet with doors with veneered panels. Frame with solid wood stiles, 1/2" wood sides and corner bracing. See General Conditions for specified materials and color. Refer to Drawing #4 for layout.	20.00	LF	_____	_____
104	3725 CABINET--WOOD WALL Replace wall cabinets. Field measure and screw to studs, level and plumb, kitchen wall cabinet. Door to have solid wood stiles and plywood panels. Frame to have solid wood stiles, 1/2" wood sides, corner bracing. See General Conditions for specified materials and color. Refer to Drawing #4 for layout.	12.00	LF	_____	_____
105	3750 COUNTER TOP--FORMICA Dispose of counter top. Field measure and screw to base cabinet a post formed, formica counter top. Provide cutout for sink. See General Conditions for specified color. Refer to Drawing #4 for layout.	20.00	LF	_____	_____
106	Custom RECONFIGURE KITCHEN Tear out existing cabinetry and counters, etc. Modify plumbing as necessary to relocate sink and appliances. Patch and repair wall surfaces as required.	1.00	EA	_____	_____
Trade: 19 Paint & Wallpaper					
107	5483 REPR CRACKS/HOLES, TEXTURE, PREP & PAINT Repair all cracks with fiberglass drywall tape and compound. Fill holes with spackle or drywall compound. Feather edges and wet sand. Spot prime all unpainted surfaces with alkyd primer. Remove all loose and chipped paint, tape all seams and major cracks with fiberglass mesh joint tape. Mask/cover all surfaces not to be textured to eliminate overspray. Spray with a latex paint based medium texture per the manufacturer's recommended procedure. Spot prime and top coat trim, ceiling, walls, doors & windows with owner's choice of premixed acrylic latex. Include any and all closets, doors, rooms, walls, ceiling and trim. Make necessary repairs to walls where radiators were removed, match existing texture. Install base to match existing.	125.00	SF	_____	_____

Location: 9 - Kitchen

Approx. Wall SF: 320

Ceiling/Floor SF: 99

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 20 Floor Coverings					
108	5930 UNDERLAYMENT AND VINYL SHEET GOODS Install 1/4" underlayment grade plywood using 7d screw shank or cement coated nails, or narrow crown coated staples, 6" on center allowing a 1/4" gap at wall. Fill seams with a manufacturer approved filler. Install 070" thick, backed vinyl sheet goods w/ minimum seams, per manufact. recommendations. Install metal edge strips in openings. Owner's choice of pattern and color.	125.00	SF	_____	_____
Trade: 22 Plumbing					
109	6835 SINK--DOUBLE BOWL COMPLETE Install a 22 gauge 33" x 22" x 7" double bowl, stainless steel, self rimming kitchen sink including a steel, metal body faucet, rated at 2.0 GPM or less, with a 15 year drip-free warranty, grease trap, supply lines, full port ball type shut-off valves & escutcheon plates on all supply & drain lines. NOTE: All copper is to be soldered (no compression fittings) & all PVC fittings glued.	1.00	EA	_____	_____
Trade: 23 Electric					
110	7730 LIGHT FIXTURE--REPLACE Replace the existing ceiling mounted light with a new ceiling mounted fixture with at least 2 bulbs, UL approved, with shade or globe and lamps.	1.00	EA	_____	_____
111	7740 LIGHT FIXTURE AND SWITCH Install a ceiling mounted, UL approved, 2 bulb light fixture (\$20 material allowance) over the new sink location controlled by a switch with cover plate located adjacent to the sink. Fish wire and repair all tear out.	1.00	EA	_____	_____
112	7840 RANGE HOOD--RECIRCULATING Install a 30", recirculating, enameled metal range hood with light, charcoal filter, and washable grease filter. Owner's choice of color.	1.00	EA	_____	_____
Trade: 25 Appliances					
113	8440 ELECTRIC RANGE Dispose of old stove. Install a 30" wide electric stove including oven and electrical connections. Product to be Owner specified GE Appliances model # JBS55DM or prior approved equivalent. Color to be selected by owner	1.00	EA	_____	_____
114	8475 REFRIGERATOR--18 CF--ENERGY STAR Dispose of old refrigerator. Install an ENERGY STAR approved 2 door, top freezer, frost free refrigerator with at least 17.5 cubic feet. Color to be selected by owner.	1.00	EA	_____	_____
115	8491 DISHWASHER--2 CYCLE--ENERGY STAR Provide and install a 24", 2 cycle (minimum), built-in Energy Star® labeled dishwasher including all alterations and connections to plumbing and electric system -- Frigidaire,	1.00	EA	_____	_____

Location: 9 - Kitchen

Approx. Wall SF: 320

Ceiling/Floor SF: 99

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 25	Appliances				
	Model# FBD2400KW - or - GE Model# GSD2100VWW. Color to be selected by owner.				
116	8500 DISPOSAL--1/2 HP Install a 1/2 horsepower, PVC chambered, quick disconnect, garbage disposal with reset button and hand crank, as manufactured by ISE, model Badger 333. Include plumbing and electrical connections.	1.00	EA	_____	_____

Location Total: _____

Location: 10 - Dining Room

Approx. Wall SF: 272

Ceiling/Floor SF: 72

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				
117	Custom PROVIDE OPENING IN WALL TO KITCHEN Remove existing door between Dining Room and Kitchen. Infill existing doorway and frame new opening in wall--refer to Drawing #4, coordinate with WCDA Construction Specialist. Finish wall and opening ready to paint.	1.00	EA	_____	_____
Trade: 17	Drywall & Plaster				
118	5355 PATCH PLASTER Cut back plaster at cooler opening as necessary. Cut out cracks 1/4" wide in a vee joint. Renail all loose lath. Install 1/8" flat rib metal lath where wood is not reusable. Apply basecoat, allowing at least 1/16" for finish coat. After 24 hour cure, apply finish coat.	8.00	SF	_____	_____

Trade: 19 Paint & Wallpaper

119	5565 PREP & PAINT VACANT ROOM Remove/cover all hardware, fixtures not to be painted. Wet scrape loose, cracked, peeling, blistered surfaces. Feather edges & dull gloss surfaces with sandpaper. Clean all surfaces with TSP. Spot prime and top coat trim, ceiling, walls, doors & windows with owner's choice of premixed acrylic latex. Include any closets, rooms, walls, ceiling and trim. Make necessary repairs to walls where radiators were removed, match existing texture. Install base to match existing.	275.00	SF	_____	_____
120	5855 WALLPAPER Scrape surface to remove wallpaper. Spackle holes and feather patches. Texture and prep walls ready to paint.	200.00	SF	_____	_____

Trade: 20 Floor Coverings

121	5930 UNDERLAYMENT AND VINYL SHEET GOODS Install 1/4" underlayment grade plywood using 7d screw shank or cement coated nails, or narrow crown coated staples, 6" on	275.00	SF	_____	_____
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Location: 10 - Dining Room

Approx. Wall SF: 272

Ceiling/Floor SF: 72

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 20	Floor Coverings				
	center allowing a 1/4" gap at wall. Fill seams with a manufacturer approved filler. Install 070" thick, backed vinyl sheet goods w/ minimum seams, per manufact. recommendations. Install metal edge strips in openings. Owner's choice of pattern and color.				
Trade: 23	Electric				
122	7730 LIGHT FIXTURE--REPLACE Replace the existing ceiling mounted light with a new ceiling mounted fixture with at least 2 bulbs, UL approved, with shade or globe and lamps.	1.00	EA	_____	_____
Location Total:					_____

Location: 11 - Utility Room

Approx. Wall SF: 208

Ceiling/Floor SF: 42

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10	Carpentry				
123	2980 WINDOW--VINYL DBL HNG DBL GLZ Field measure, order and install a vinyl, double hung, double glazed, one-over-one window and jamb including screen, caulk, interior casing and exterior trim. Install half screen.	1.00	EA	_____	_____
124	3175 DOOR--ENTRY COMPLETE Dispose of existing door and frame. Install a 1-3/4" six-panel, fiberglass door and frame. Include interior and exterior casing, three 4"x 4" butt hinges, spring metal weatherstripping, an interlocking threshold, 1/4 glass, one entrance and one mortised deadbolt lockset keyed alike. Prime and topcoat with owner's choice of finish.	1.00	EA	_____	_____
125	3210 STORM DOOR--ALUMINUM Install an aluminum storm door with 3/4 glass and white baked enamel aluminum finish.	1.00	EA	_____	_____
126	Custom INSTALL FLOOR DRAIN Install a floor drain to remove water to exterior. Drain may daylight to side of Utility Room.	1.00	EA	_____	_____
Trade: 17	Drywall & Plaster				
127	5210 DRYWALL--PATCH--LARGE Cut back defective gypsum to expose half of the studs on each side of the hole at dryer exhaust. Cut and tightly fit drywall patch. Glue and nail or screw patch. Apply tape and 3 coats of compound feathered out at least 8". Wet sand ready for paint.	4.00	SF	_____	_____
Trade: 19	Paint & Wallpaper				
128	5565 PREP & PAINT VACANT ROOM Remove/cover all hardware, fixtures not to be painted. Wet	50.00	SF	_____	_____

Location: 11 - Utility Room

Approx. Wall SF: 208

Ceiling/Floor SF: 42

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 19	Paint & Wallpaper				
	scrape loose, cracked, peeling, blistered surfaces. Feather edges & dull gloss surfaces with sandpaper. Clean all surfaces with TSP. Spot prime and top coat trim, ceiling, walls, doors & windows with owner's choice of premixed acrylic latex. Include any closets, rooms, walls, ceiling and trim. Make necessary repairs to walls where radiators were removed and elsewhere, match existing texture.				
129	5755 PREP & PAINT CONCRETE FLOOR Sweep clean entire deck. Clean with TSP and rinse thoroughly. Roll out one coat of owner's choice of premixed chlorinated rubber paint per manufacturer's recommendations.	50.00	SF	_____	_____
Trade: 20	Floor Coverings				
130	5945 VINYL BASE Apply 4" high, .080 gauge vinyl top set, cove base molding with matching end stops and preformed corner units using a low VOC adhesive.	24.00	LF	_____	_____
Trade: 21	HVAC				
131	6415 DRYER VENT Install 4" round rigid galvanized ductwork from the specified dryer location to a wall mounted Heartland Dryer Vent Closure outlet. http://www.energyfederation.org/consumer/default.php/cPath/30_4287_4571 . Do not fasten with nails, screws or other fasteners that protrude into the interior of the exhaust duct. Use pop rivets to connect sections of duct. Seal all joints and seams with duct mastic, not duct tape. Secure duct and hood to framing.	1.00	EA	_____	_____
Trade: 22	Plumbing				
132	7120 DRIPLESS CENTER--WASHER HOOK UP Install PVC stand pipe, hot and cold hose bibbs, and 20 amp outlet on a separate circuit to service a washing machine. Remove drain plug at conclusion of construction and place tape over hole to protect opening.	1.00	EA	_____	_____
Trade: 23	Electric				
133	7730 LIGHT FIXTURE--REPLACE Replace the existing ceiling mounted light with a new ceiling mounted fixture with at least 2 bulbs, UL approved, with shade or globe and lamps.	1.00	EA	_____	_____

Location Total: _____

Location: 13 - Attic

Approx. Wall SF: 512

Ceiling/Floor SF: 960

Address: 414 S McKinley (HOME) (Copy) Street

Unit: Unit 01

Location: 13 - Attic

Approx. Wall SF: 512

Ceiling/Floor SF: 960

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 16 Conservation					
134	4923 INSULATION--INCREASE TO R-50 Blow in borax treated cellulose or loose lay unfaced fiberglass batts over existing insulation to increase total attic rating to at least R-50.	1,000.00	SF	_____	_____

Location Total: _____

Location: 14 - Garage #1

Approx. Wall SF: 792

Ceiling/Floor SF: 448

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1 General Requirements					
135	3216 DOOR--OVERHEAD DOOR REPLACE Remove existing overhead garage door, tracks, guide,s motor, and drive system. Replace with aluminum sectional over head garage door. Install tracks, motor, guides, electric safety eye, and drive system at existing opening. Provide 2 remotes controllers. Must meet current local building codes.	1.00	EA	_____	_____

Trade: 10 Carpentry

136	2980 WINDOW--VINYL DBL HNG SNGL GLZ Field measure, order and install a vinyl, double hung, single glazed, one-over-one window and jamb including screen, caulk, interior casing and exterior trim. Install half screen.	1.00	EA	_____	_____
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Location Total: _____

Location: 15 - Garage #1 Upper Area

Approx. Wall SF: 616

Ceiling/Floor SF: 448

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 10 Carpentry					
137	2980 WINDOW--VINYL DBL HNG SNGL GLZ Field measure, order and install a vinyl, double hung, single glazed, one-over-one window and jamb including screen, caulk, interior casing and exterior trim. Install half screen.	2.00	EA	_____	_____

Location Total: _____

Location: 16 - Garage #2

Approx. Wall SF: 800

Ceiling/Floor SF: 400

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 1 General Requirements					
138	3216 DOOR--OVERHEAD DOOR REPLACE Remove existing overhead garage door, tracks, guide,s motor, and drive system. Replace with aluminum sectional over head garage door. Install tracks, motor, guides, electric safety eye, and drive system at existing opening. Provide 2 remotes	1.00	EA	_____	_____

Address: 414 S McKinley (HOME) (Copy) Street

Unit: Unit 01

Location: 16 - Garage #2

Approx. Wall SF: 800

Ceiling/Floor SF: 400

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 1 General Requirements

controllers. Must meet current local building codes.

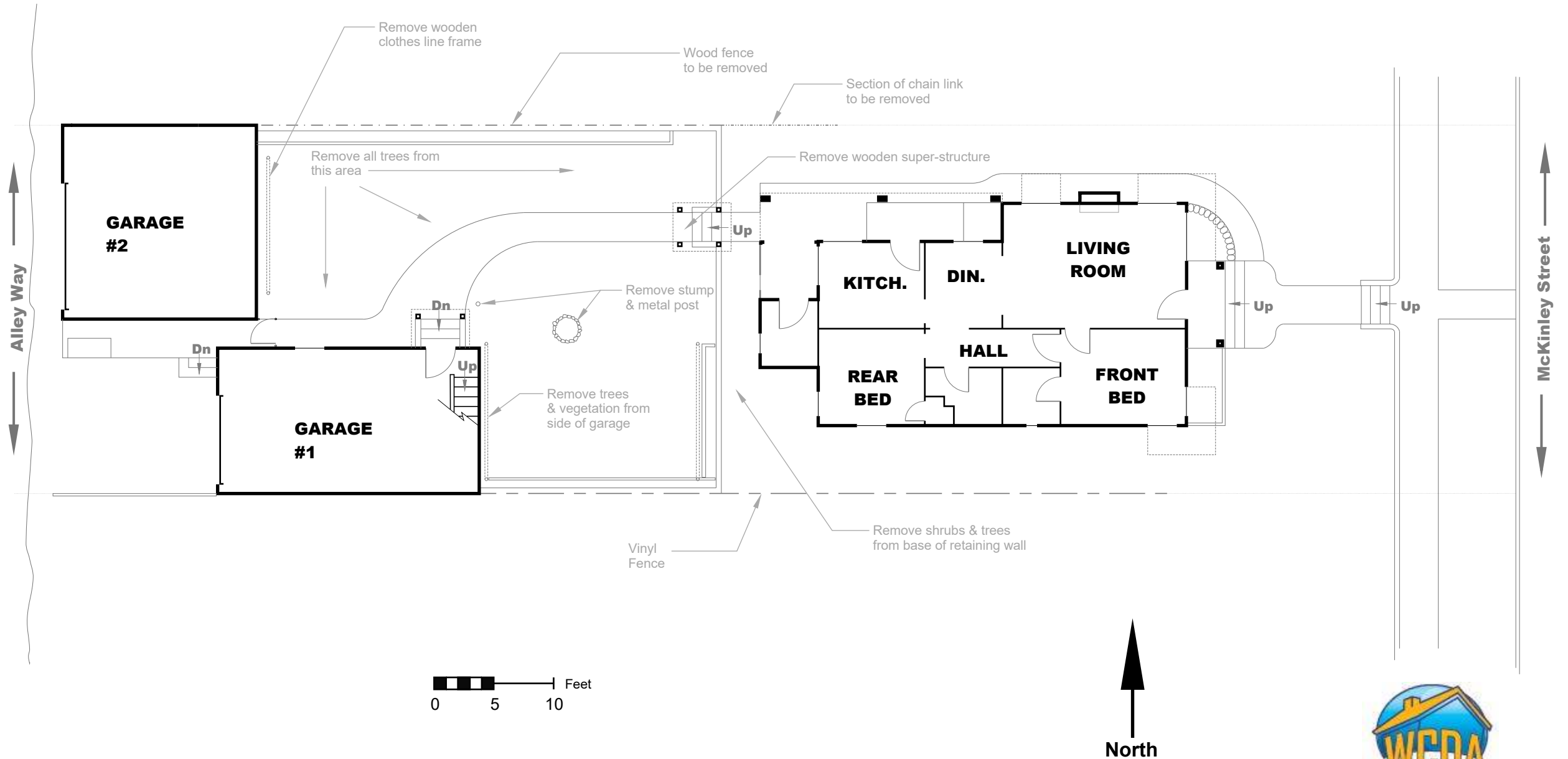
Trade: 5 Demolition & Disposal

139	795	HAUL DEBRIS TO LANDFILL	1.00	LD	_____	_____
Remove and legally dispose of all debris. Interior shall be swept clean.						

Location Total: _____

Address Grand Total for 414 S McKinley (HOME) (Copy) Street: _____

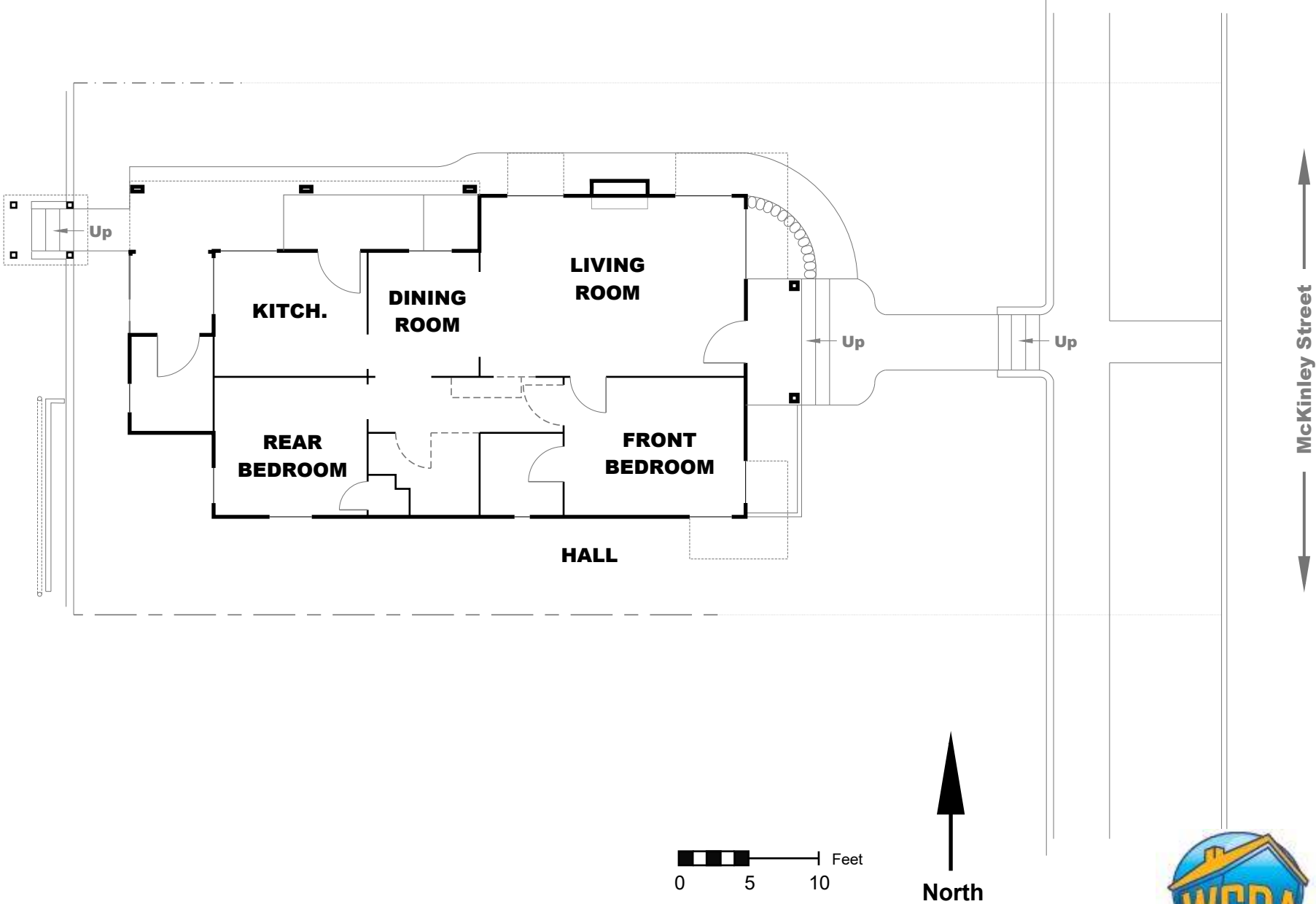
Bidder: _____



NOTE: Drawing is schematic only. Field verify all dimensions.

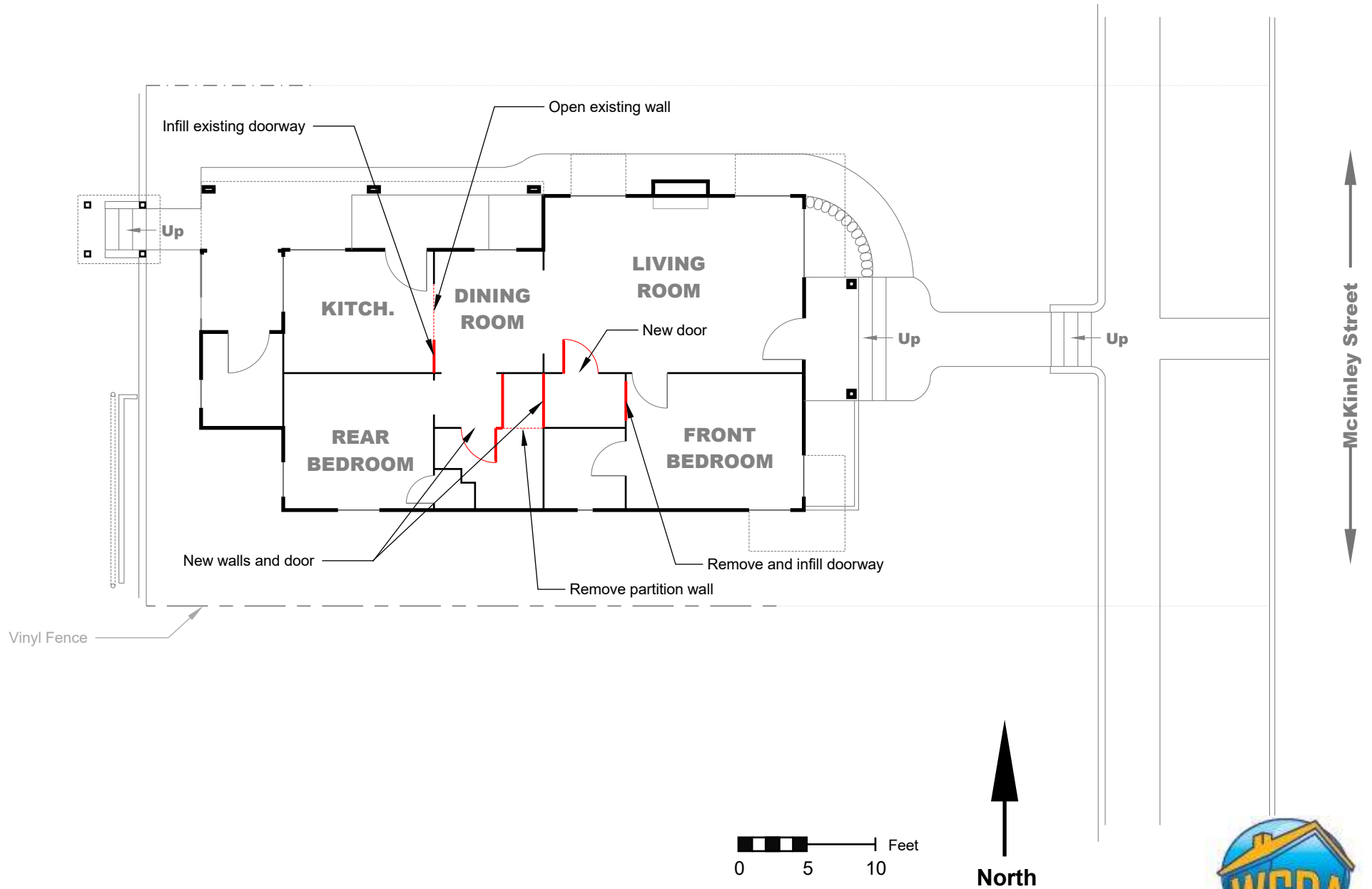


DRAWING #2: EXISTING FLOOR PLAN



NOTE: Drawing is schematic only. Field verify all dimensions.



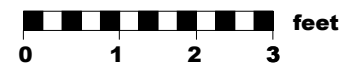
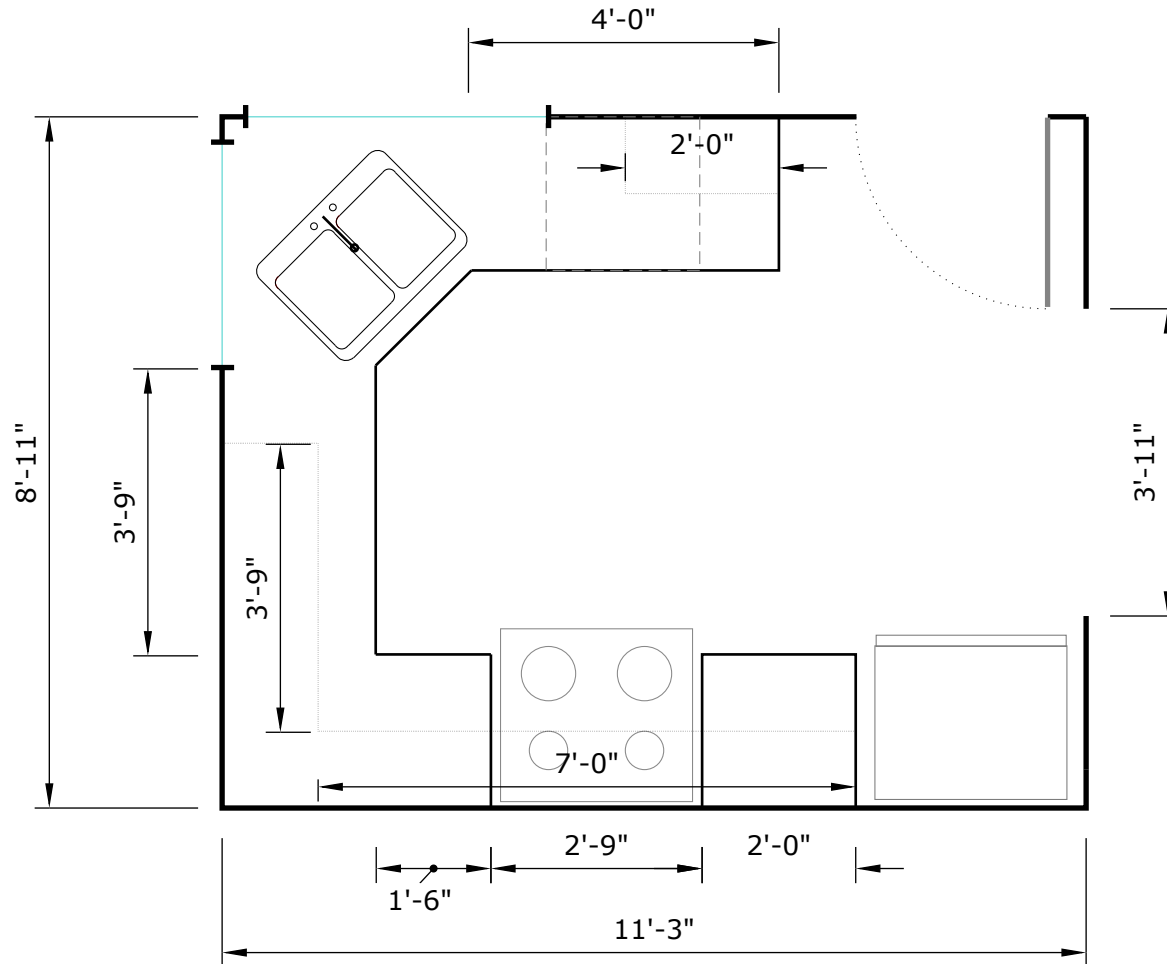
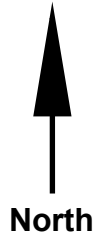


NOTE: Drawing is schematic only. Field verify all dimensions.



414 S McKinley Street, Casper, Wyoming

DRAWING #4: KITCHEN LAYOUT SCHEMATIC

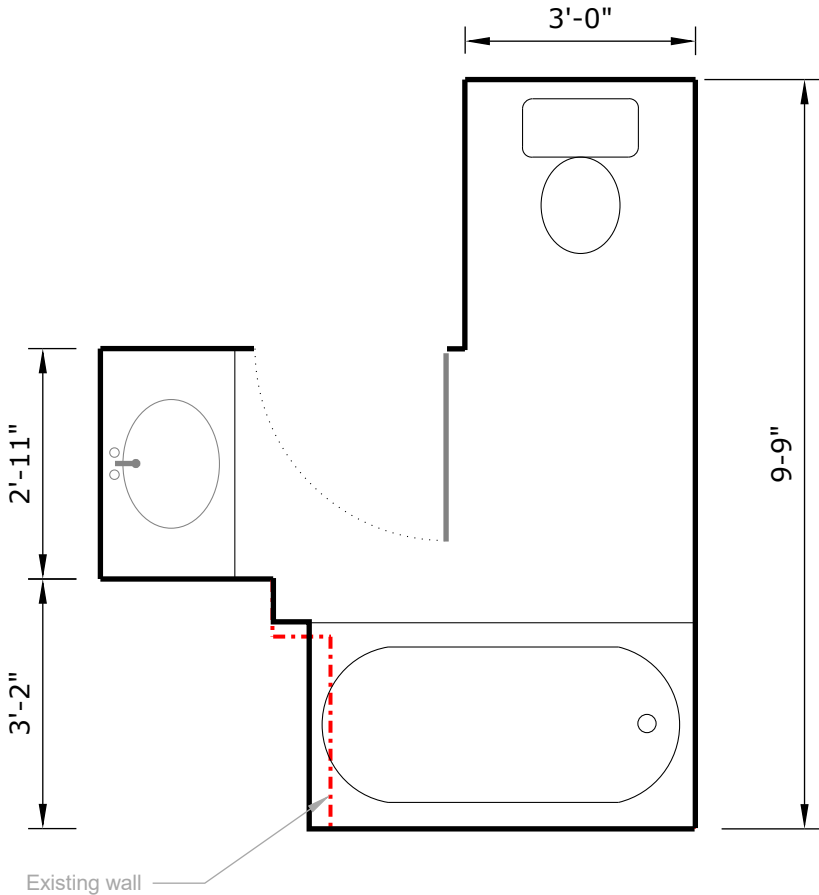
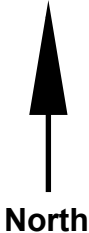


NOTE: Drawing is schematic only. Field verify all dimensions.



414 S McKinley Street, Casper, Wyoming

DRAWING #5: BATHROOM LAYOUT SCHEMATIC



NOTE: Drawing is schematic only. Field verify all dimensions.

